

2

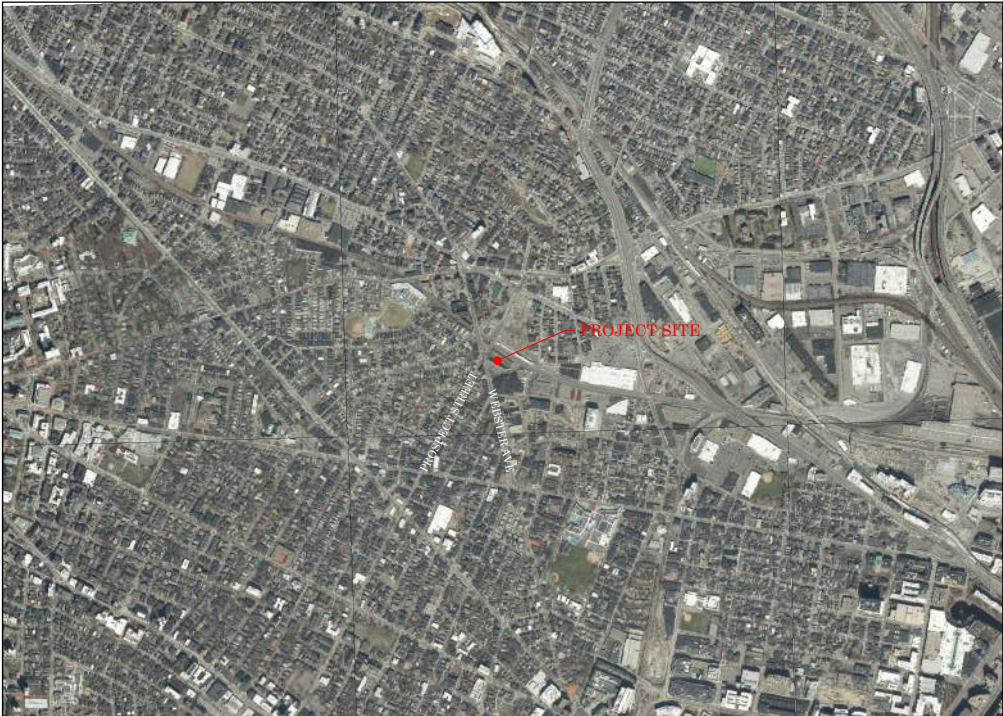
PLAN SET

REVISED 7.15.2022

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UNION SQUARE PARCEL D3.1

THOROUGHFARE PLANS 50 WEBSTER AVENUE SOMERVILLE, MASSACHUSETTS



LOCUS MAP
1"=800'

SHEET INDEX	
C-000	COVER SHEET AND LOCUS MAP
--	SUBDIVISION PLAN OF LAND
C-100	LAYOUT & MATERIALS PLAN
C-200	GRADING, DRAINAGE & UTILITIES PLAN
C-300	CONSTRUCTION DETAILS
C-301	CONSTRUCTION DETAILS
C-302	CONSTRUCTION DETAILS
C-303	CONSTRUCTION DETAILS
C-304	CONSTRUCTION DETAILS
C-305	CONSTRUCTION DETAILS
SP-100	ILLUSTRATIVE SITE PLAN
LP-100	LIGHTING PHOTOMETRIC PLAN



200 HIGH ST. BOSTON, MA 02110
857.300.2610 | SGA-ARCH.COM

PROJECT TEAM:

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30 Union Square
Somerville, MA 02143
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781.907.9000
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Chicago, IL 60654
312.915.0557
Building Code Consulting
Code Red Consultants
154 Turnpike Road, Suite 200
Southborough, MA 01772
617.500.7633
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Natick, MA 01760
617.964.5477
Lighting Design
Sladen Feinstein
434 Massachusetts Avenue
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Parking Consulting
Walker Consultants
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617.350.5040
Acoustical / Vibration
Acentech
33 Moulton Street
Cambridge, MA 02138
617.499.8000
Hardware
Campbell McCabe
63 Great Road, Suite 201
Maynard, MA 01754

SEAL / SIGNATURE



PROJECT:

Union Square Parcel D3.1

50 Webster Avenue
Somerville, MA 02143

US2

REVISIONS:

No.	Date	Description
1	07/15/22	

SUBMISSIONS:

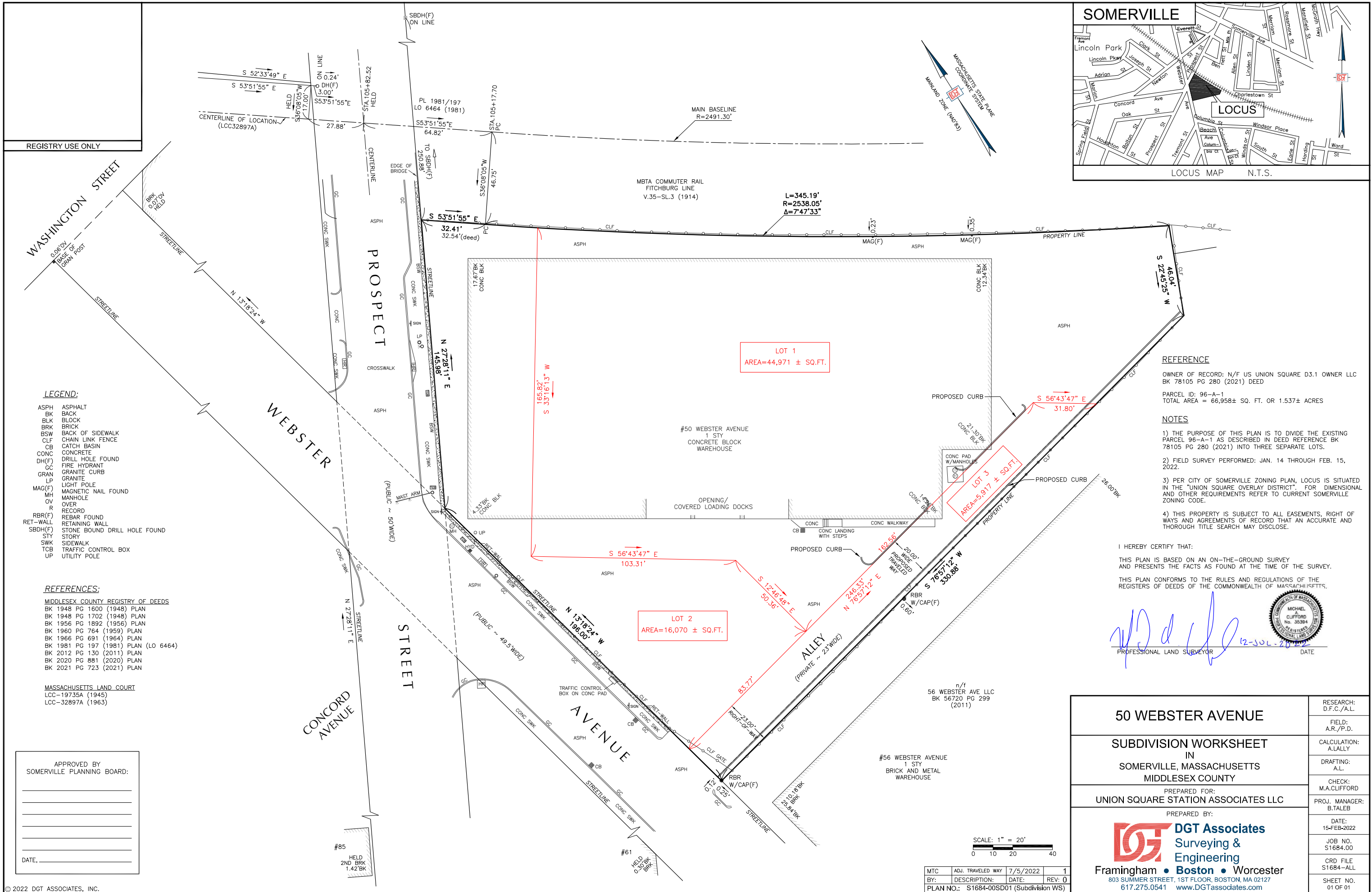
Date	Issued For:
05/12/22	DSFR

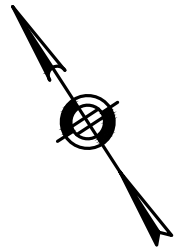
SCALE **AS NOTED**
DATE ISSUED **05/12/2022**
PROJECT NO **2021121.03**
DRAWN BY **JBC**
CHECKED BY **REL**

SHEET TITLE:

**COVER SHEET
AND LOCUS MAP**

C-000





PROSPECT STREET
(PUBLIC - 50' WIDE)

METAL GUARD RAIL
AND ON CONC. WALL

BL
BL

BT
PARKING

CROSSWALK

OHV

HH

BL

BL

BL

BL

BL

BL

BL

BL

BL

BL

BL

BL

BL

BL

BL

BL

BL

BL

CONCORD AVENUE
(PUBLIC - 40' WIDE)

SEE CIVIC SPACE PLANS

CIVIC PLAZA

CIVIC PLAZA

PROPOSED BUILDING

CONCRETE PAVEMENT
(SERVICE/ACCESS WAY)

6' TRANSITION CURB
TO FLUSH

GARAGE BELOW

LOAM & SEED

RETAINING WALL
W/ GUARDRAIL

THOROUGHFARE LOT

6' TRANSITION CURB
TO FLUSH

COLORED CONCRETE

RIPRAP SLOPE
W/ GUARDRAIL

LOAM & SEED

BOLLARD (TYP)

STOP SIGN

WEBSTER AVENUE
(PUBLIC - 49.5' WIDE)



SCALE IN FEET

LEGEND

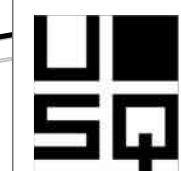
CROSSWALK	CW
FLUSH GRANITE CURB (FGC)	---
PRECAST CONC CURB (PCC)	---
SIGN	●
STOP LINE	SL
VERTICAL GRANITE CURB (VGC)	---

NOTES:

- MEASUREMENTS ARE TAKEN FROM FACE OF CURB OR FOUNDATION WALL.
- SEE SHEET D3.1-C303 FOR TYPICAL SECTIONS.

D3.1

UNION SQUARE
SOMERVILLE, MA



OWNER

US UNION SQUARE
D3.1 OWNER LLC

31 Union Square
Somerville, MA. 02143

REV #	ISSUE DATE	DESCRIPTION
1	JULY 15, 2022	



HOWARD STEIN HUDSON

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Boston, MA 02108
www.hshassoc.com

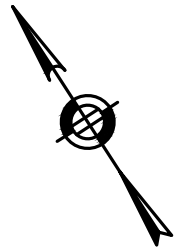


ARCHITECT OF RECORD
SPAGNOLO GISNESS & ASSOCIATES, INC.
200 High Street, 2nd Floor
Boston, MA 02110
T 1.857.300.2610

SHEET TITLE

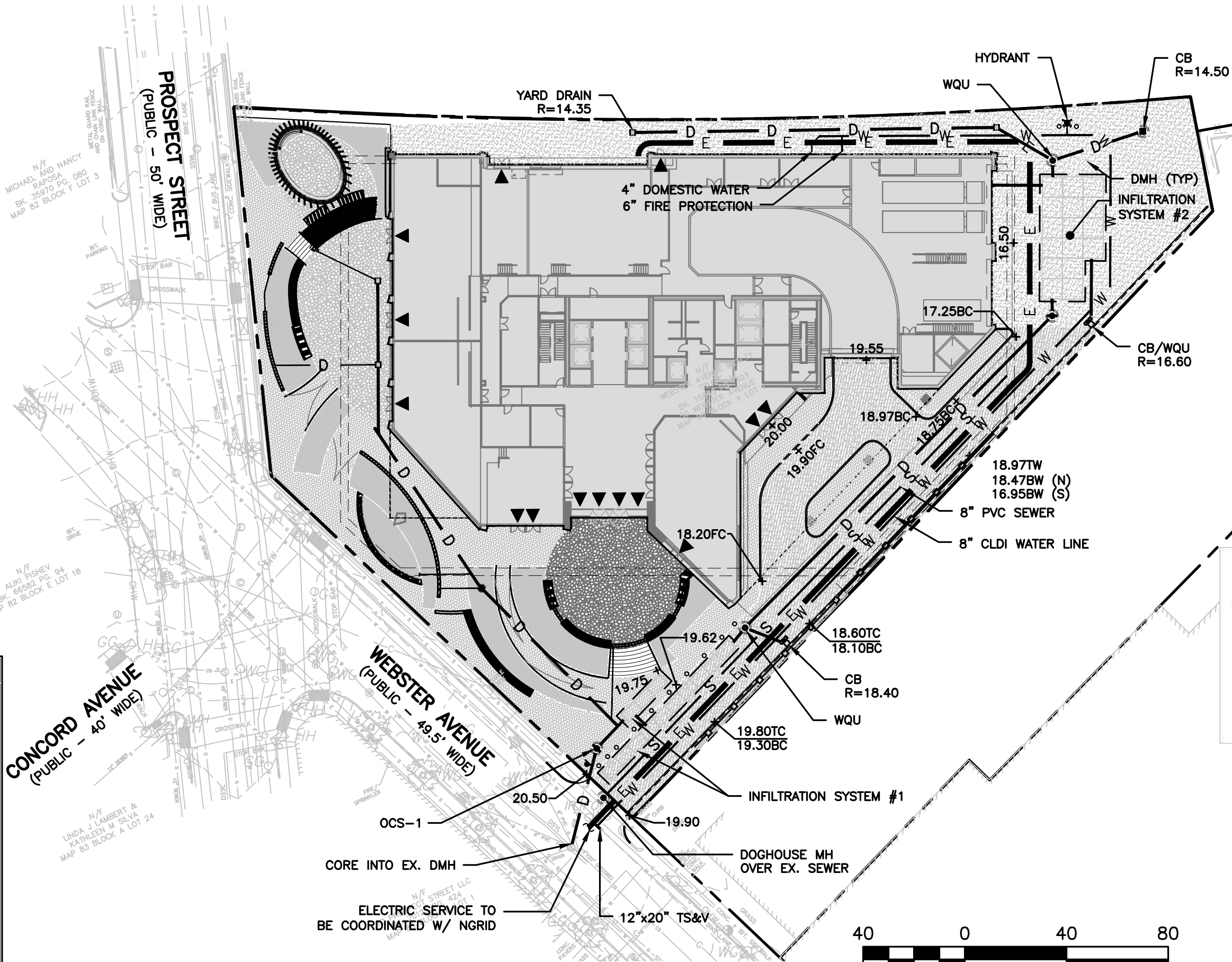
LAYOUT & MATERIALS PLAN

D3.1 - C100



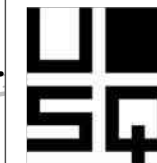
- GENERAL NOTES**
- EXISTING TOPOGRAPHIC, PROPERTY LINE AND UTILITY INFORMATION SHOWN IS BASED ON A PLAN ENTITLED "TOPOGRAPHIC PLAN, 600 WINDSOR PLACE, LOCATED IN SOMERVILLE, MASSACHUSETTS, SURVEYED FOR UNION SQUARE STATION ASSOCIATES LLC (US2)", DATED 7/19/2021 PREPARED BY DESIGN CONSULTANTS, INC. OF SOMERVILLE, MA. THE ACCURACY AND COMPLETENESS OF UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE WORK. AT LEAST 72 HOURS BEFORE EXCAVATION BEGINS THE CONTRACTOR IS REQUIRED TO CALL DIG SAFE AT (888)344-7233.
 - THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER.
 - ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, (SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS) PRIOR TO DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, OR REPAVING.
 - NO EXISTING PUBLIC UTILITY STRUCTURES SHALL BE ABANDONED AND/OR DISMANTLED WITHOUT AUTHORIZATION FROM THE ENGINEER.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED OR REMOVED & DISPOSED.
 - THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS AT HIS OWN EXPENSE, OUTSIDE OF THE PROJECT LIMITS.
 - ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD DETAILS OF THE CITY OF SOMERVILLE ENGINEERING DEPARTMENT.
 - CONTRACTOR MUST PAY ALL FEES AND PERMITS.
 - SANITARY SEWER AND STORM DRAINS MUST BE A MINIMUM OF 10 FEET APART FROM ANY NEW OR EXISTING WATER SERVICES.
 - PIPE MATERIALS (UNLESS OTHERWISE NOTED)
STORM DRAIN: SDR-35 PVC
SANITARY SEWER: SDR-35 PVC
WATER PIPE: CLDI CLASS 56 (ZINC COATED)

LEGEND	
	EXISTING PROPERTY LINE
	SANITARY SEWER
	WATER LINE
	STORM DRAIN
	GAS LINE
	TELECOMMUNICATIONS
	ELECTRIC
	PROP SPOT GRADE
	EXIST SPOT GRADE
	VERTICAL GRANITE CURB
	POLYVINYL CHLORIDE PIPE
	CEMENT-LINED DUCTILE IRON PIPE
	CLEANOUT
	LINEAR FEET
	INVERT ELEVATION
	TAPPING SLEEVE & VALVE
	VALVE
	DRAIN MANHOLE
	CLEANOUT
	OUTLET CONTROL STRUCTURE
	WATER QUALITY UNIT
	SEWER MANHOLE



D3.1

UNION SQUARE
SOMERVILLE, MA



OWNER
US UNION SQUARE
D3.1 OWNER LLC
31 Union Square
Somerville, MA. 02143

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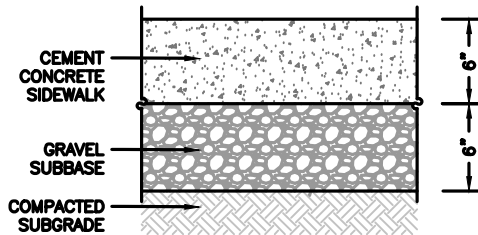
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SPAGNOLO GISNESS & ASSOCIATES, INC.
200 High Street, 2nd Floor
Boston, MA 02110
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SHEET TITLE
GRADING, DRAINAGE,
& UTILITIES PLAN

D3.1 - C200

EROSION & SEDIMENT CONTROL NOTES:

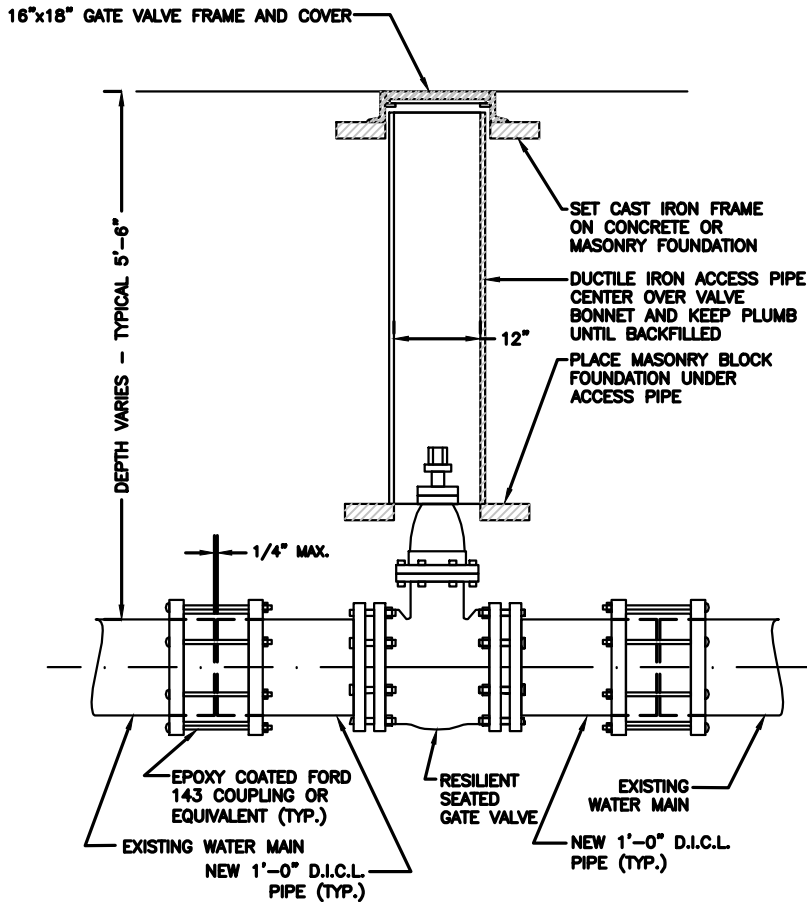
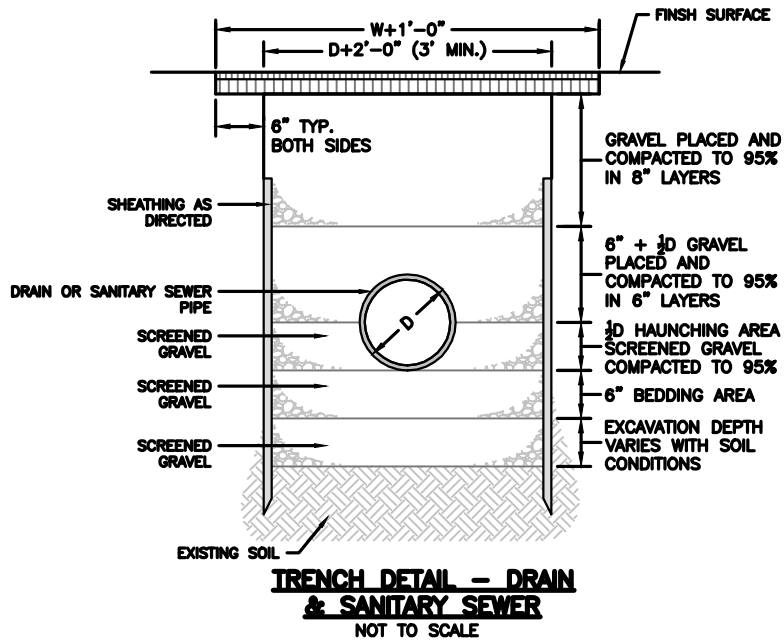
1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED AND UPGRADED AS NECESSARY DURING CONSTRUCTION BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND INSTALL ADDITIONAL CONTROL MEASURES AS NEEDED DURING CONSTRUCTION.
2. ALL CATCH BASINS RECEIVING DRAINAGE FROM THE PROJECT SITE MUST BE PROVIDED WITH A CATCH BASIN FILTER.
3. STABILIZATION OF ALL RE-GRADED AND SOIL STOCKPILE AREAS MUST BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
4. SEDIMENT REMOVED FROM EROSION AND SEDIMENT CONTROL DEVICES MUST BE PROPERLY REMOVED AND DISPOSED. ALL DAMAGED CONTROLS MUST BE REMOVED AND REPLACED.
5. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THIS INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE PROPER CITY AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING WIND EROSION AND DUST THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL MAY INCLUDE, BUT IS NOT LIMITED TO, SPRINKLING OF WATER ON EXPOSED SOILS AND STREET SWEEPING ADJACENT ROADWAYS.
7. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN 21 DAYS AFTER LAND DISTURBANCE ACTIVITIES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZED SOILS WITHIN 14 DAYS OF THE LAST DISTURBANCE.
8. IF A DISTURBED AREA WILL BE EXPOSED FOR GREATER THAN ONE YEAR, PERMANENT GRASSES OR OTHER APPROVED COVER MUST BE INSTALLED.
9. THE CONTRACTOR MUST KEEP ON-SITE AT ALL TIMES ADDITIONAL FILTER BERMS AND/OR SILT FENCE FOR THE INSTALLATION AT THE DIRECTION OF THE ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
10. THE CONSTRUCTION FENCING AND EROSION AND SEDIMENT CONTROLS AS SHOWN MAY NOT BE PRACTICAL DURING ALL STAGES OF CONSTRUCTION. EARTHWORK ACTIVITY ON-SITE MUST BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO A SEDIMENT CONTROL DEVICE OR INFILTRATED TO THE GROUND.
11. DEMOLITION AND CONSTRUCTION DEBRIS MUST BE PROPERLY CONTAINED AND DISPOSED OF.
12. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE HAULED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.



NOTES:

1. CONCRETE SIDEWALK DETAIL AND NOTES APPLY TO SIDEWALK WITHIN THE RIGHT-OF-WAY.
2. CONCRETE SHALL BE 4,000 PSI.
3. SIDEWALKS ARE TO BE RAKED FINISH WITH 3/8 INCH TROWEL JOINTS.

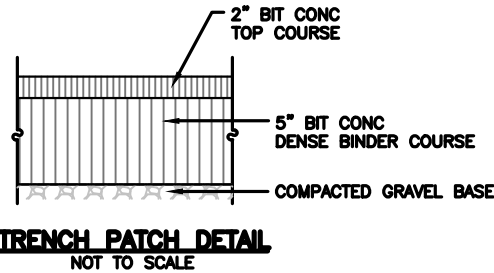
CEM CONG SIDEWALK SECTION DETAIL
NOT TO SCALE



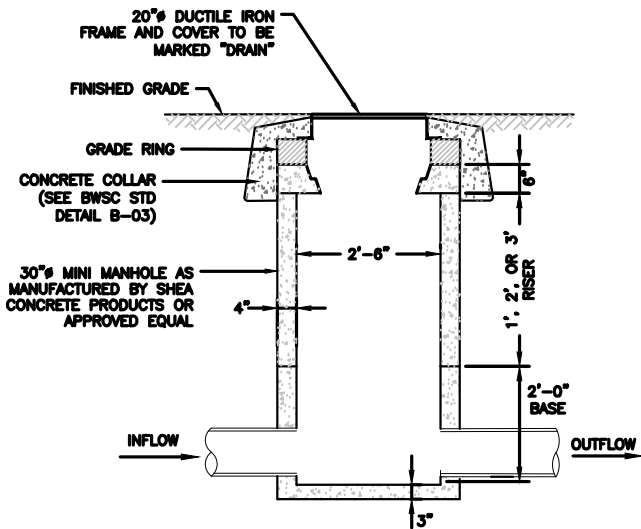
NOTE:

1. ALL EXCAVATION AND BACKFILLING AND PAVING SHALL BE IN ACCORDANCE WITH THE CITY OF BOSTON REQUIREMENTS.

TYPICAL GATE VALVE INSTALLATION
NOT TO SCALE



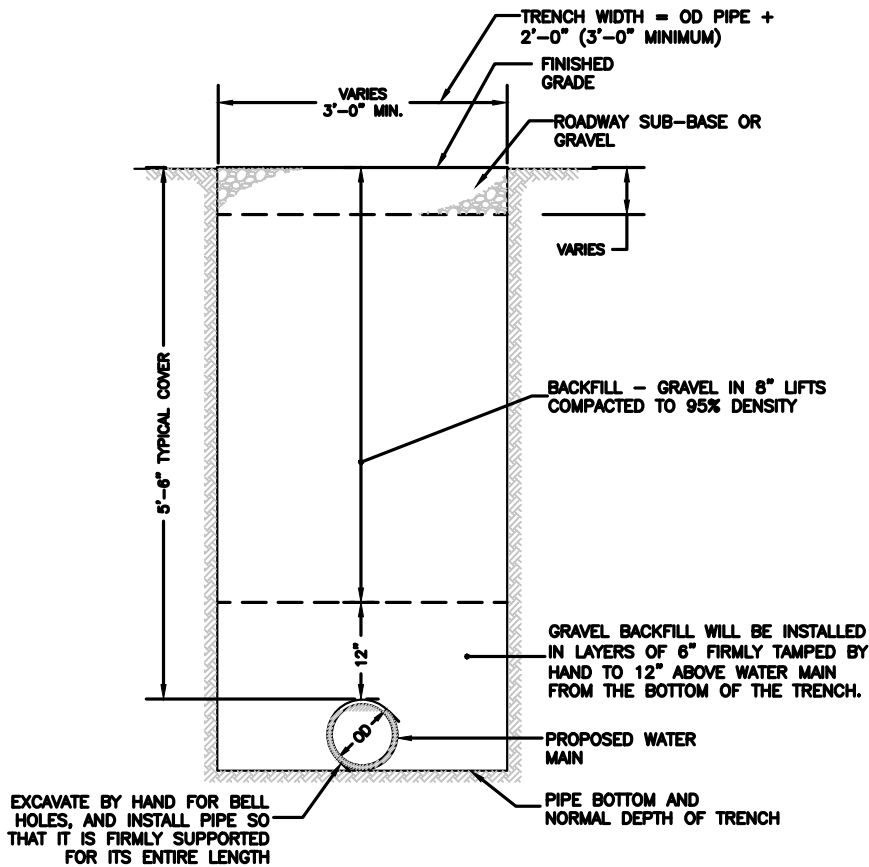
TRENCH PATCH DETAIL
NOT TO SCALE



NOTES:

1. CONCRETE: 5000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGNED FOR H-20 LOADING.

MINI MANHOLE
NOT TO SCALE



TRENCH DETAIL - WATER MAIN (A-05)
NOT TO SCALE

D3.1

UNION SQUARE
SOMERVILLE, MA



OWNER

US UNION SQUARE
D3.1 OWNER LLC

31 Union Square
Somerville, MA. 02143

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	05/12/2022	Thoroughfare Plans



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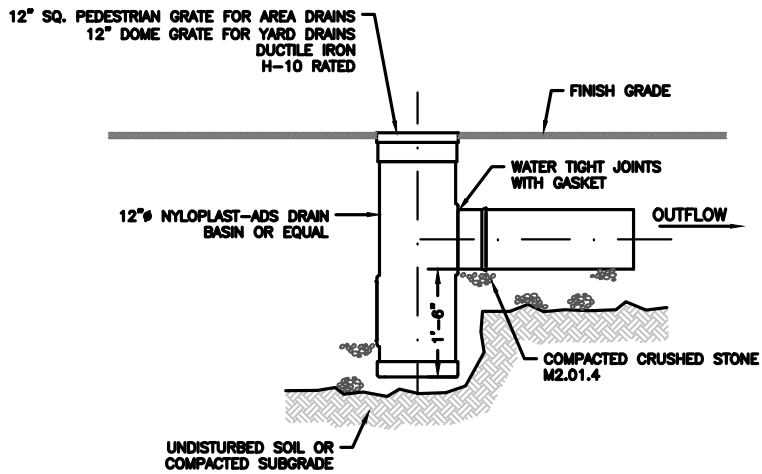


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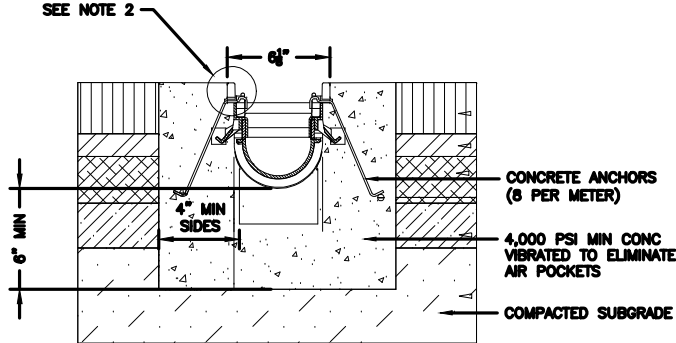
SHEET TITLE

CONSTRUCTION DETAILS

D3.1 - C300

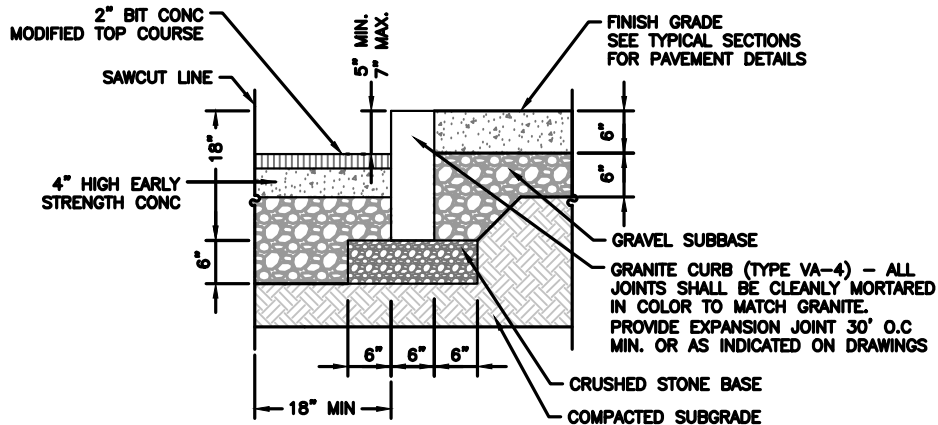


AREA AND YARD DRAIN
NOT TO SCALE



- NOTES:
1. TRENCH DRAIN ENVIRO-FLOW II, MODEL 9931 WITH ADA-COMPLIANT GRATE MODEL 9870-478-ADA OR APPROVED EQUAL
 2. THE FINISH LEVEL OF THE CONCRETE SURROUND MUST BE APPROXIMATELY 1/2" ABOVE THE TOP OF THE CHANNEL EDGE.
 3. REFER TO MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS FOR COMPLETE DETAILS

TRENCH DRAIN
NOT TO SCALE

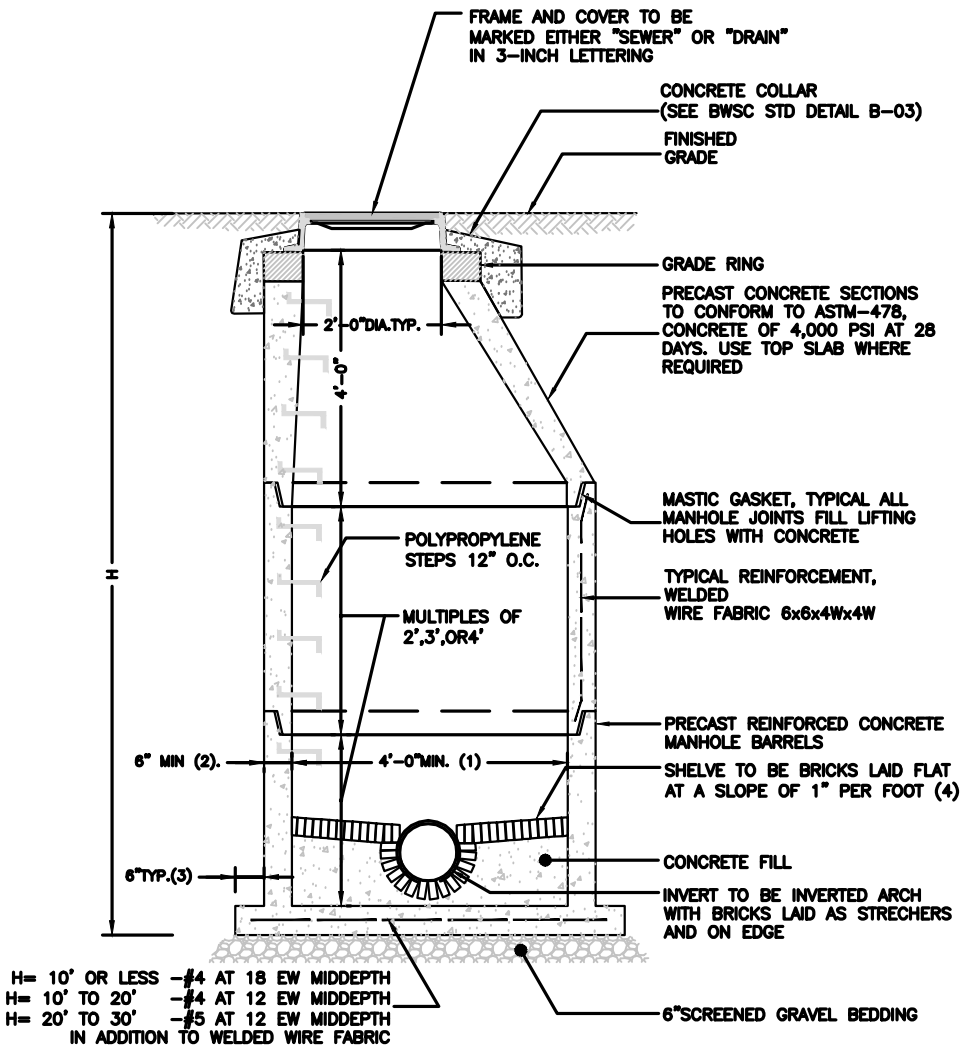


VERTICAL GRANITE CURB AT STREET
NOT TO SCALE

TABLE II - "a" DIMENSION - FEET		
PIPE DIAMETER - INCHES	90° FITTING	OTHERS
6, 8, 10 & 12	1 - 6	1 - 0
16 & 20	2 - 0	1 - 6
24" - 30"	3 - 0	2 - 0

TABLE I - THRUST - KIPS (WATER PRESSURE = 200 P.S.I.)										
PIPE DIAMETER INCHES	6	8	10	12	16	20	24	30	36	42
DEAD ENDS AND TEES	5.6	10	15.8	22.6	40.2	62.8	90.4	141.0	203.6	277.0
ANGLE FITTINGS	90°	7.9	14.2	22.4	32.0	56.8	88.8	127.7	199.0	288.0
	67 1/2°	-	11.1	17.6	25.1	44.7	70.0	100.2	157.0	226.0
	56 1/4°	-	-	14.9	21.2	37.9	59.2	85.1	133.0	192.0
	45°	-	-	-	17.3	30.8	48.1	69.0	108.0	156.0
	33 3/4°	-	-	-	13.1	23.3	36.5	52.5	82.0	118.0
	22 1/2°	-	-	-	8.8	15.7	24.5	35.2	55.0	79.5

DESIGN THRUST BLOCKS OR OTHER SUITABLE ANCHORAGE TO SUIT ACTUAL CONDITIONS

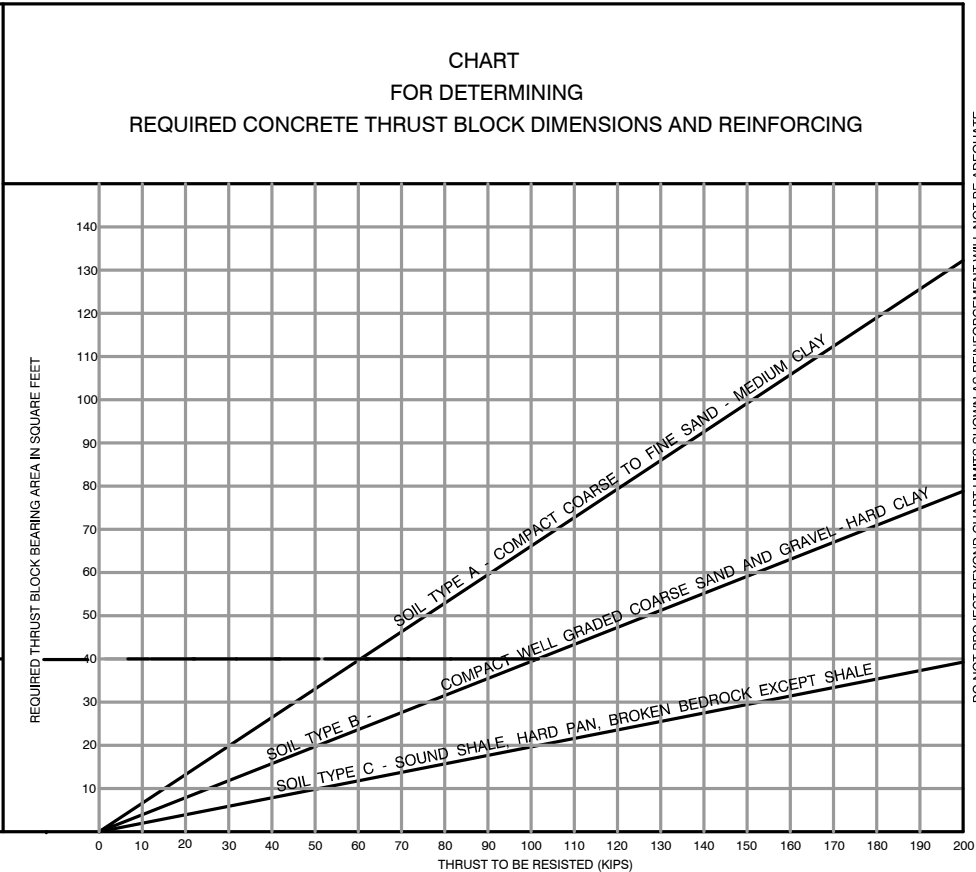


H= 10' OR LESS -#4 AT 18 EW MIDDEPTH
H= 10' TO 20' -#4 AT 12 EW MIDDEPTH
H= 20' TO 30' -#5 AT 12 EW MIDDEPTH
IN ADDITION TO WELDED WIRE FABRIC

- NOTES:
1. 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY THE ENGINEER.
 2. 6 INCH MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
 3. 6 INCH LIP OPTIONAL UNLESS OTHERWISE NOTED. CONCRETE INVERT AND SHELVE MAY BE SUBSTITUTED IN STORM DRAIN MANHOLES AS DIRECTED BY THE ENGINEER.

PRECAST CONCRETE MANHOLE (B-02a)
NOT TO SCALE

REINFORCING STEEL EACH WAY			THRUST BLOCK DIMENSIONS	
			b = WIDTH	d = DEPTH
TYPE I THRUST BLOCK				
SOIL TYPE				
A	B	C	A	B
#8 a 8	#8 a 11	#7 a 9	18 - 0	8 - 0
#8 a 11	#8 a 12	#7 a 9	16 - 0	8 - 0
#7 a 9	#8 a 12	#7 a 9	14 - 0	8 - 0
#8 a 12	#8 a 12	#7 a 9	12 - 0	8 - 0
#8 a 12	#8 a 12	#7 a 9	10 - 0	8 - 0
#8 a 12	#8 a 12	#7 a 9	8 - 0	8 - 0
#8 a 12	#8 a 12	#7 a 9	7 - 0	7 - 0
#8 a 12	#8 a 12	#7 a 9	6 - 0	6 - 0
#8 a 12	#8 a 12	#7 a 9	5 - 0	5 - 0
#8 a 12	#8 a 12	#7 a 9	4 - 0	4 - 0
#8 a 12	#8 a 12	#7 a 9	3 - 0	3 - 0
#8 a 12	#8 a 12	#7 a 9	2 - 0	2 - 0



THRUST BLOCK DIMENSIONS (A-01c)
NOT TO SCALE

D3.1

UNION SQUARE
SOMERVILLE, MA



OWNER

US UNION SQUARE
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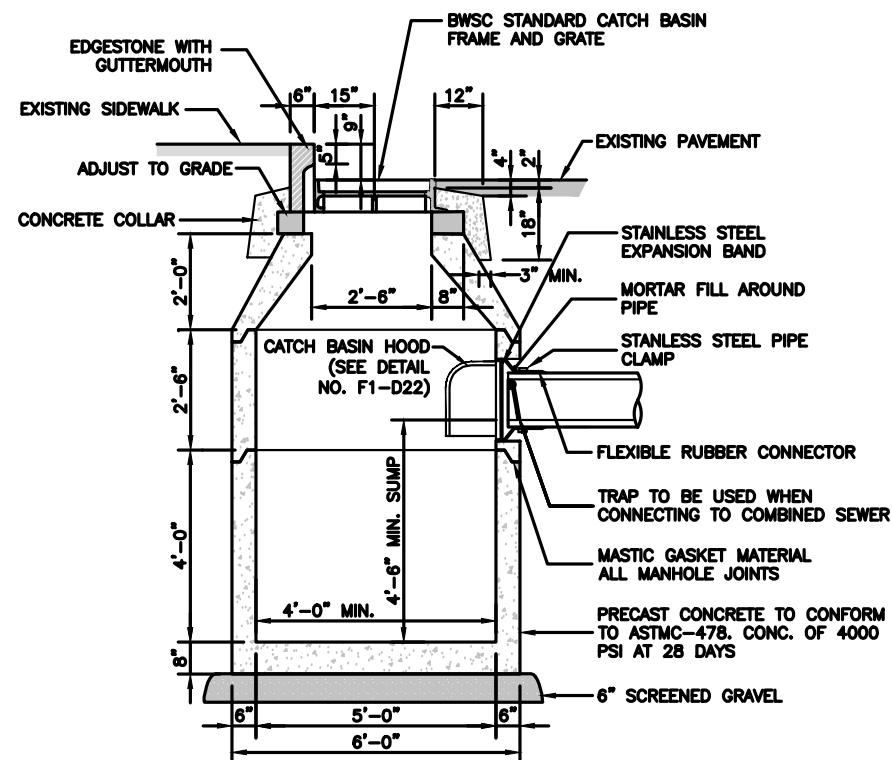


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SHEET TITLE

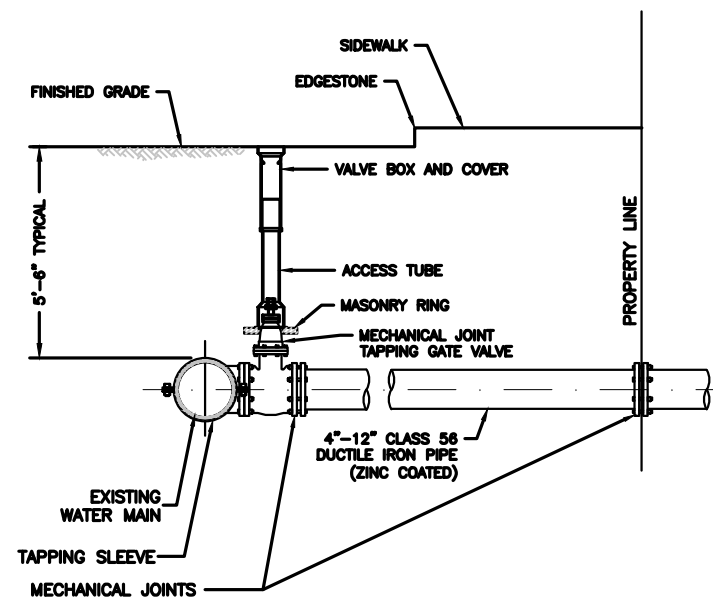
CONSTRUCTION DETAILS

D3.1 - C301



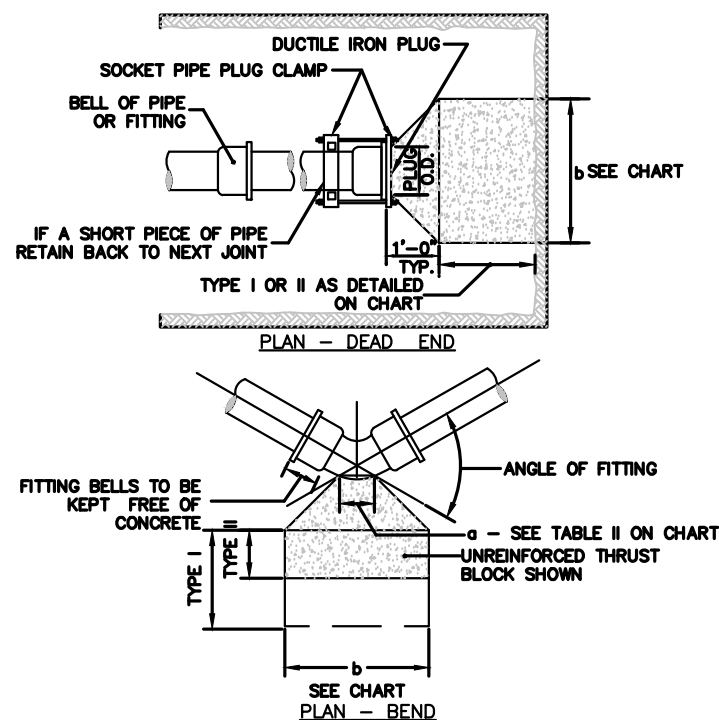
- NOTES:
1. ADEQUATE FOR H-20 MINIMUM LOADING. CATCH BASIN FRAME SHALL BE 3-FLANGE MEETING MASSDOT CATCH BASIN FRAME E 201.6 OR APPROVED EQUAL IN ORDER TO ACCOMMODATE STORM SACK FILTER. FRAME SHALL BE 4-FLANGE WHERE NO INLET STONE IS SHOWN ON THE PLANS.
 2. CATCH BASIN GRATE SHALL BE EAST JORDAN MODEL 5520M2 OR APPROVED EQUAL MEETING MASSDOT CATCH BASIN GRATE E 201.10.

CATCH BASIN
NOT TO SCALE

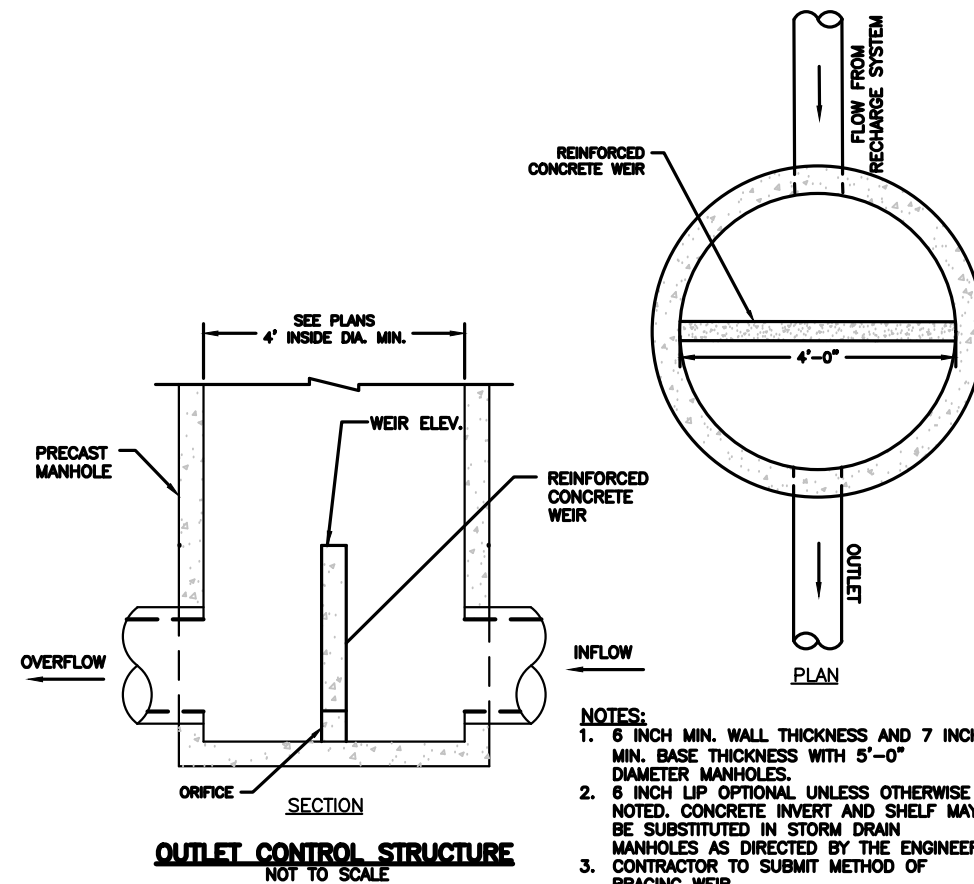


- NOTES:
1. CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
 2. USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
 3. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

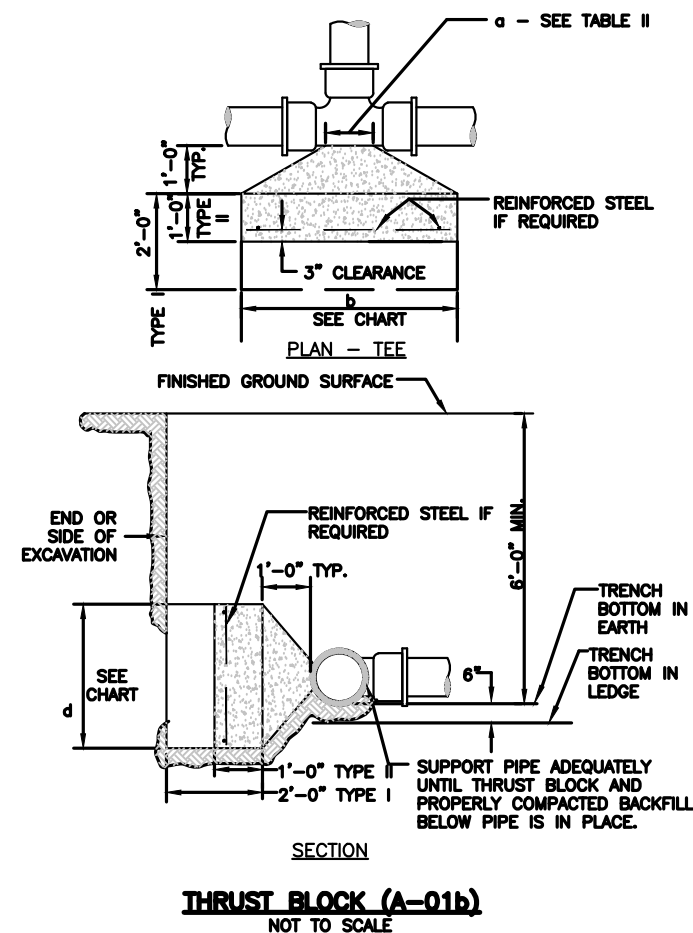
TAPPING SLEEVE & VALVE (A-09)
NOT TO SCALE



THRUST BLOCK (A-01a)
NOT TO SCALE



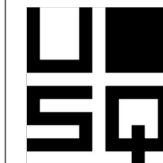
- NOTES:
1. 6 INCH MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
 2. 6 INCH LIP OPTIONAL UNLESS OTHERWISE NOTED. CONCRETE INVERT AND SHELF MAY BE SUBSTITUTED IN STORM DRAIN MANHOLES AS DIRECTED BY THE ENGINEER.
 3. CONTRACTOR TO SUBMIT METHOD OF BRACING WEIR.



THRUST BLOCK (A-01b)
NOT TO SCALE

D3.1

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SOMERVILLE, MA



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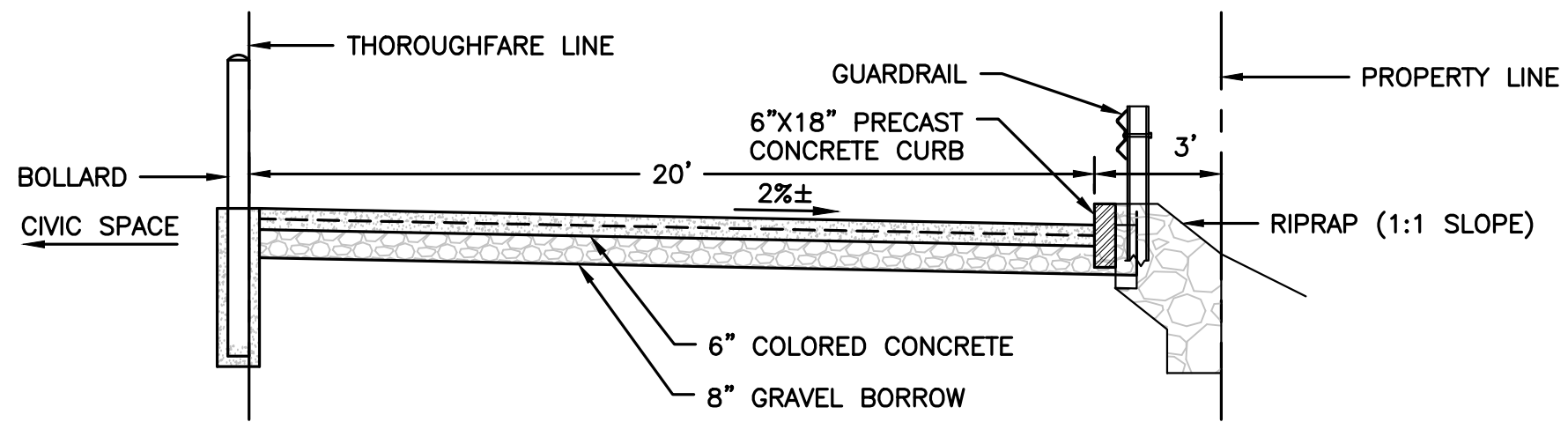


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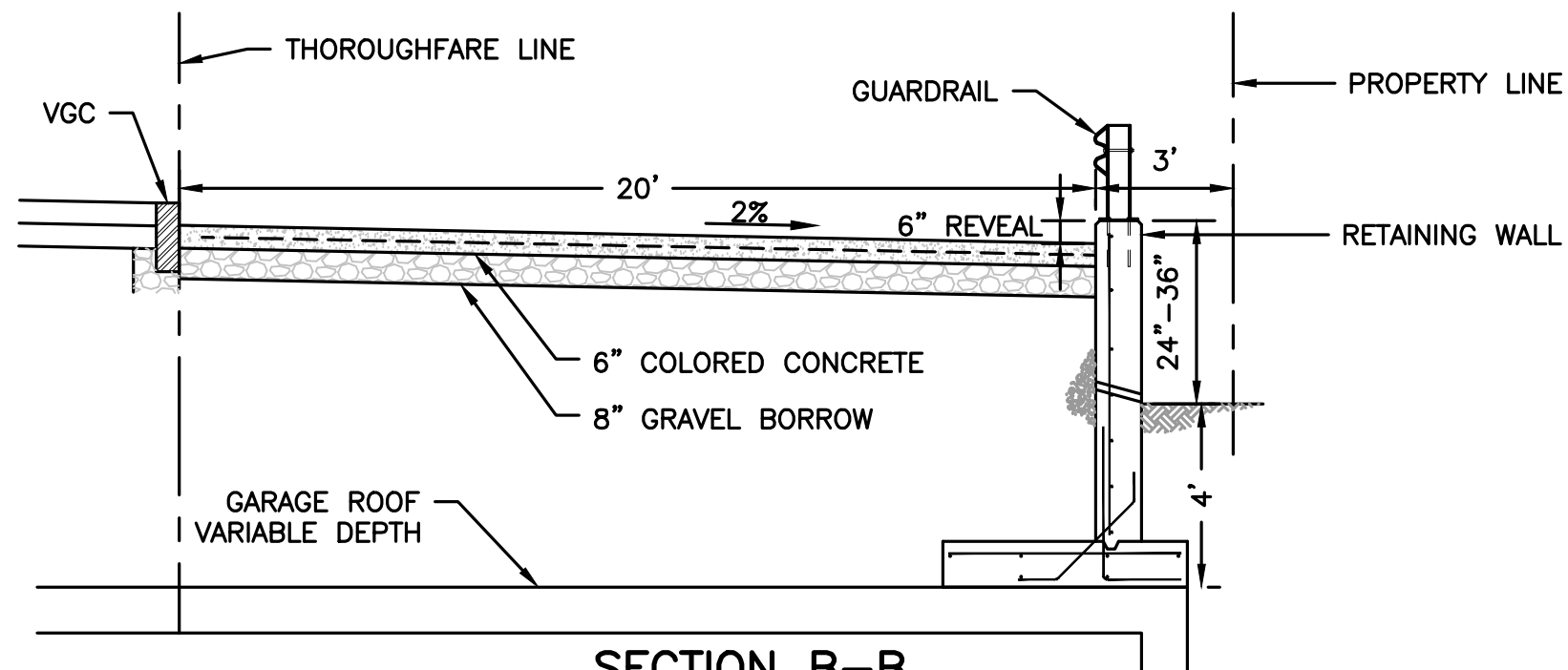
SHEET TITLE

CONSTRUCTION DETAILS

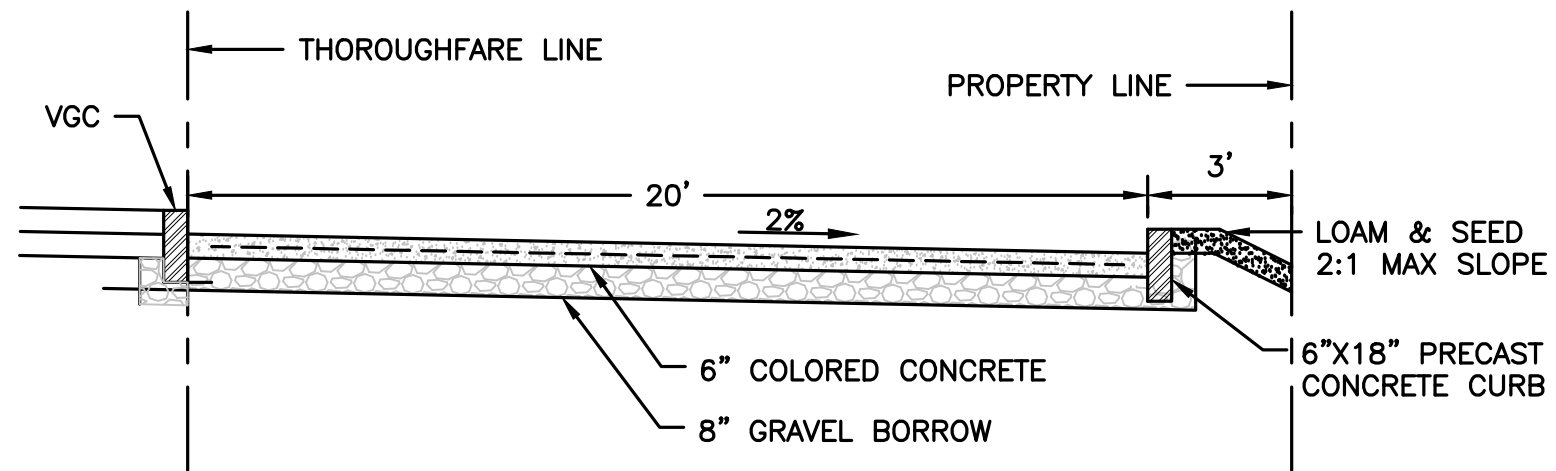
D3.1 - C302



SECTION A-A



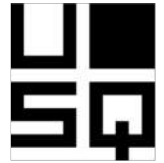
SECTION B-B



SECTION C-C

D3.1

UNION SQUARE
SOMERVILLE, MA



OWNER

US UNION SQUARE
D3.1 OWNER LLC

31 Union Square
Somerville, MA. 02143

REV #	ISSUE DATE	DESCRIPTION
1	JULY 15, 2022	



HOWARD STEIN HUDSON

11 Beacon Street, Suite 1010
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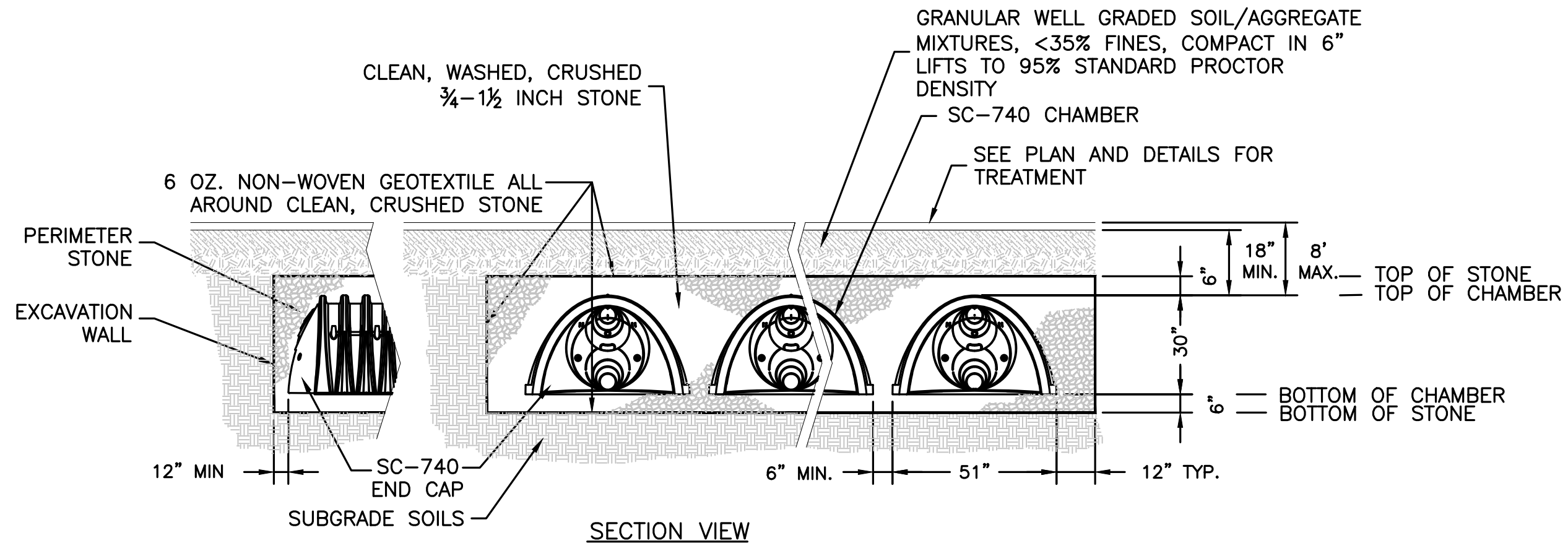


ARCHITECT OF RECORD
SPAGNOLO GISNESS & ASSOCIATES, INC.
200 High Street, 2nd Floor
Boston, MA 02110
T 1.857.300.2610

SHEET TITLE

CONSTRUCTION DETAILS
TYPICAL SECTIONS

D3.1 - C303



SUBSURFACE INFILTRATION SYSTEM #1
NOT TO SCALE

D3.1
UNION SQUARE
SOMERVILLE, MA



OWNER
US UNION SQUARE
D3.1 OWNER LLC
31 Union Square
Somerville, MA. 02143

REV #	ISSUE DATE	DESCRIPTION
1	JULY 15, 2022	



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SHEET TITLE
CONSTRUCTION DETAILS

D3.1 - C304



OWNER
US UNION SQUARE
D3.1 OWNER LLC
31 Union Square
Somerville, MA. 02143

REV #	ISSUE DATE	DESCRIPTION
	05/12/2022	Thoroughfare Plans

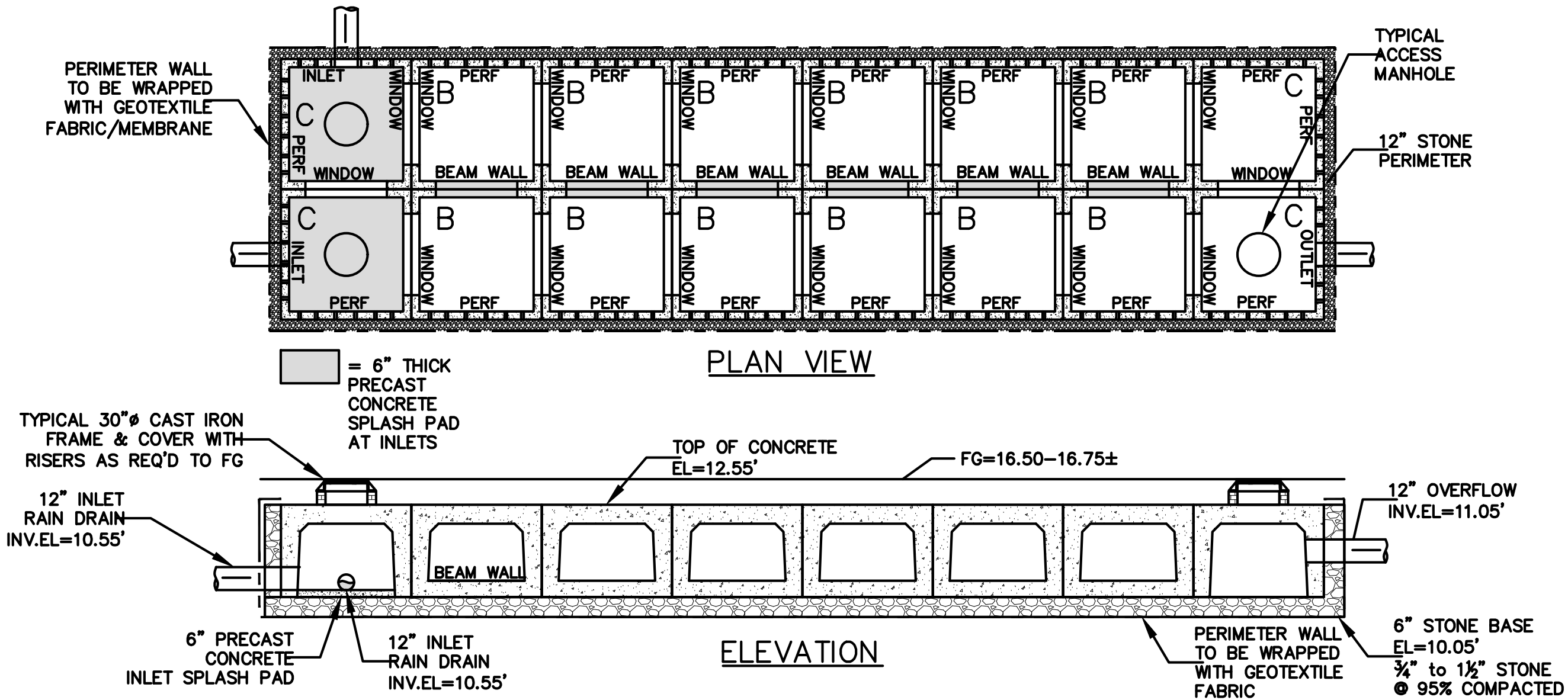



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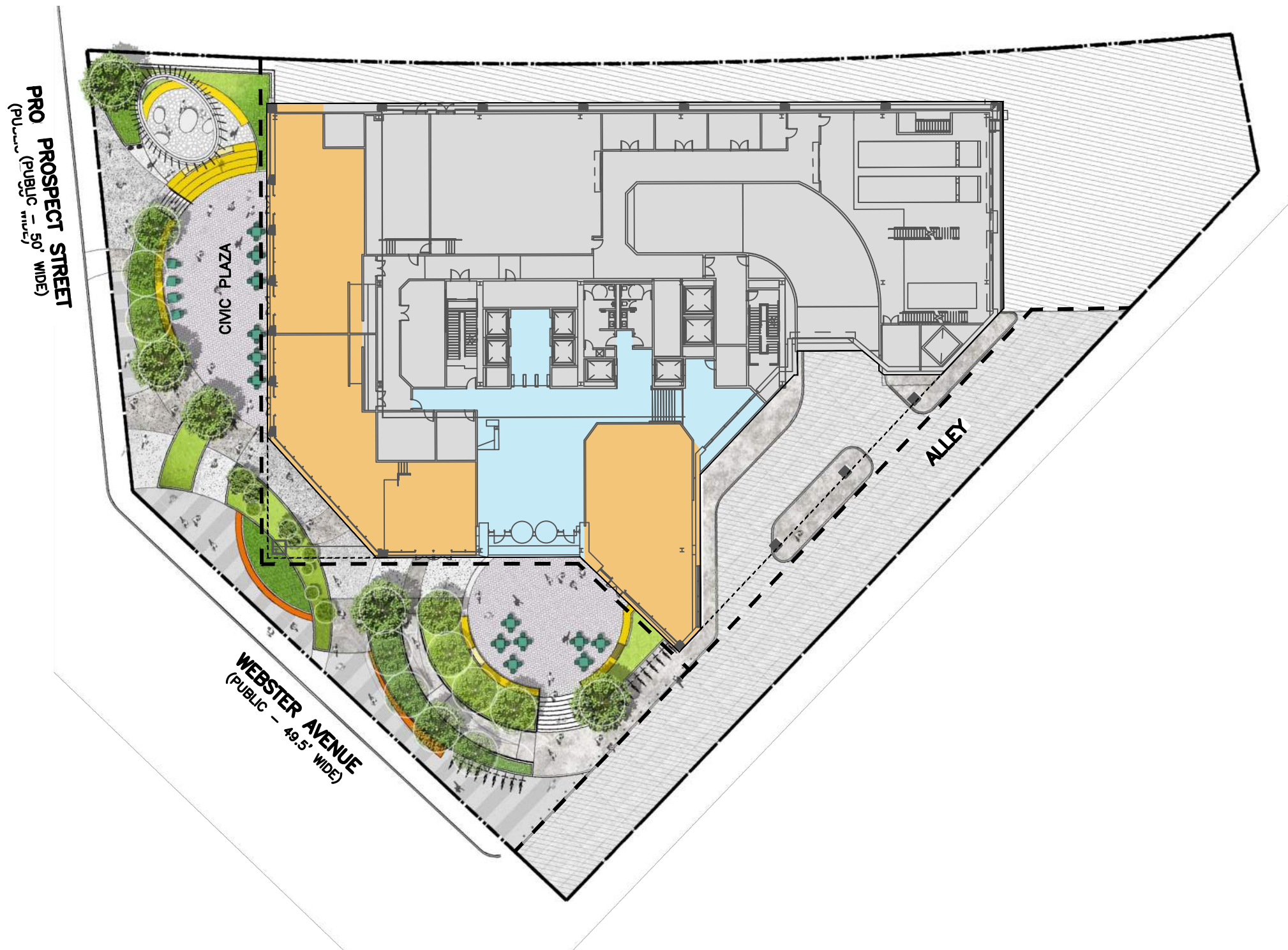
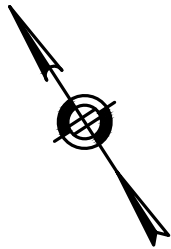


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Boston, MA 02110
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SHEET TITLE
CONSTRUCTION DETAILS



SUBSURFACE INFILTRATION SYSTEM #2
NOT TO SCALE



SCALE IN FEET

D3.1

UNION SQUARE
SOMERVILLE, MA



OWNER

US UNION SQUARE
D3.1 OWNER LLC

31 Union Square
Somerville, MA. 02143

REV #	ISSUE DATE	DESCRIPTION
1	JULY 15, 2022	



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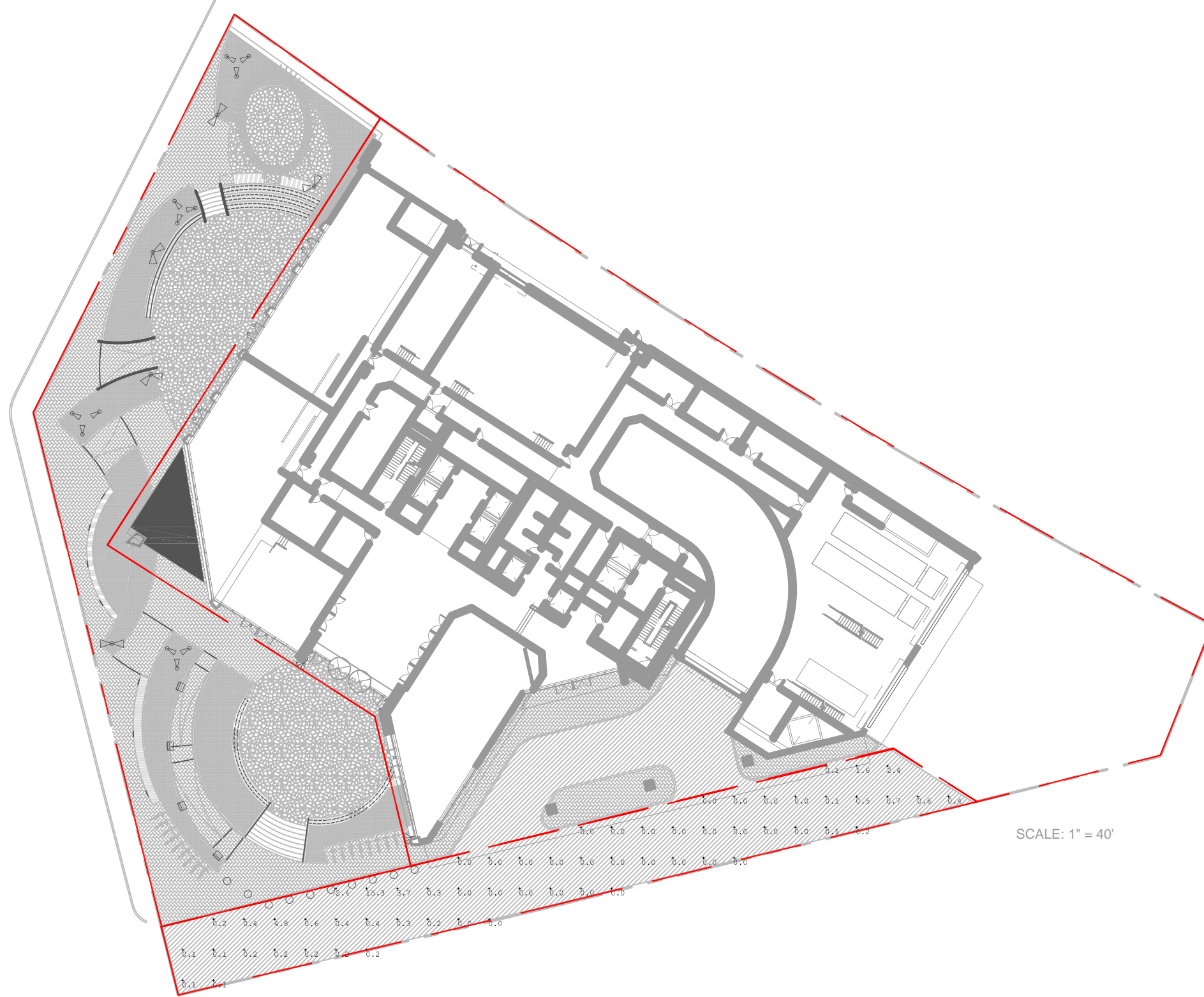


ARCHITECT OF RECORD
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Boston, MA 02110
T 1.857.300.2610

SHEET TITLE

ILLUSTRATIVE SITE PLAN

SP-100



SCALE: 1" = 40'

D3.1

UNION SQUARE
SOMERVILLE, MA



OWNER

US UNION SQUARE
D3.1 OWNER LLC

31 Union Square
Somerville, MA. 02143

REV #	ISSUE DATE	DESCRIPTION
1	JULY 15, 2022	



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SHEET TITLE

THOROUGHFARE PHOTOMETRIC PLAN

LP-100